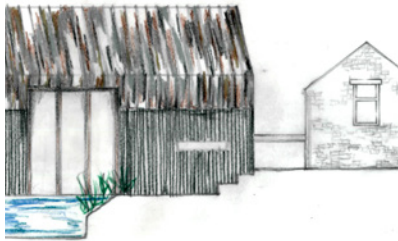


ARCHITECTURAL DESIGN AND ACCESS STATEMENT

June 2018



Proposed New Dwelling
at Town-o'-rule

SADLER BROWN ARCHITECTURE

This document forms part of a planning application submission for a new dwelling at Town-o'-rule near Bonchester Bridge, dated June 2018. This document should be read in conjunction with the formal drawings and accompanying reports submitted as part of the full planning application.

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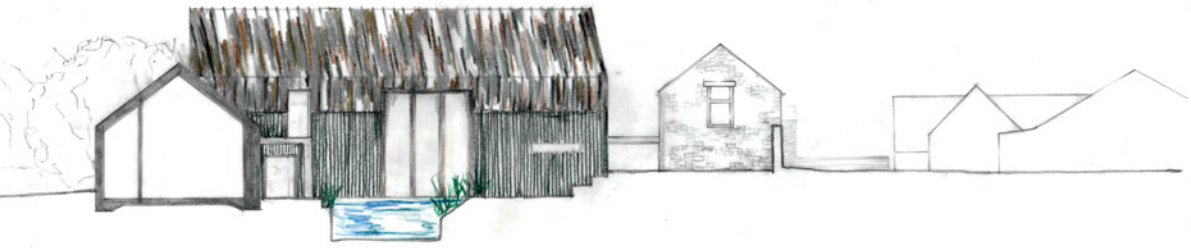
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Panorama of the Site from the North West Corner

SECTION 1.0
INTRODUCTION



Development sketch of the proposed dwelling

1.0 INTRODUCTION

1.1 Purpose and Structure of the Statement

1.1.01

This Design and Access Statement has been prepared on behalf of Mr J Reddihough, the landowner of the proposed site for development located approximately 1 mile north of Bonchester Bridge off the B6357 in the Scottish borders. It accompanies a full planning application to erect a new dwelling to be used as a family home for Mr Reddihough. The Design and Access Statement has been prepared by Sadler Brown Architecture and Ethical Partnership.

1.1.02

This Statement responds to the requirements of the Town and Country Planning (Scotland) Act 1997 (amended by the Planning etc. (Scotland) Act 2006) and the South East Scotland (SES) Strategic Development Plan (June 2013) for planning applications (with some exceptions) to be accompanied by a Design and Access Statement. The requirement for planning applications to be supported by a Design & Access Statement is referenced in: Regulation 13 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2012; and Scottish Planning Series Circular 4 2009: Development Management Procedures.

Section 32 of the Planning (Scotland) Act 1997 (applications for planning permission) states that the regulations:

- (a) require that an application for planning permission of such description as is specified in the regulations or order is to be accompanied by a statement (either or both and if both then either in one document or in two)—
 - (i) about the design principles and concepts applied to the development,
 - (ii) about how issues relating to access for the disabled to the development have been dealt with,

1.1.03

This Design and Access Statement has been clearly structured to comply with the requirements as set out in planning Series Circular 4 2009 and Planning Advice Note 68: Design Statements. The guidance recommends statements address the site and area appraisals; key design principles and concepts relating to the following aspects of the development; and provide explanation of the design solution.

The statement is structured as follows:

- Section 1: Introduction - overview of the site and background information.
- Section 2: Appraisal and Principals - this sets out the physical, historic, social and economic context of the Site.
- Section 3: Design Proposals - Sets out the design principles that are appropriate for the development of the site based on an understanding of the existing site context, the brief and the development of the design. Provides a description of the proposals in terms of use, amount, layout, access, materials scale, landscape and appearance.

1.1.04 Planning and Landscape Information

This statement explains the architectural design principles and concepts behind the proposed new family home. The statement should also be read in conjunction with the Planning Statement, produced by Ethical Partnership, which sets out in detail how the design satisfies national and local planning policy; and with reference to accompanying planning information provided by Landscape Architects, the Landscape Agency, which provide details for the landscape strategy.



1.0 INTRODUCTION

1.2 The Client and the Brief

1.2.01 The Client

Our Client, Mr J. Reddihough, is the current landowner of the agricultural estate and has expressed a desire to develop a new five bedroom house for his family. The new home will be sited in the land in the heart of the ownership of the applicant so as to encourage the perpetual upkeep and maintenance of the land and ultimately, help preserve the landscape for posterity. The applicant does not currently have a residence within his land ownership.

1.2.02 The Brief

The applicant's intentions are to create a high-quality, sustainable, environmentally-conscious home that is sensitive to the special landscape qualities of the site and its surroundings, and the distinctive character and identity of the local area. The intention is that the energy demands of the dwelling will be met entirely by renewable sources.

The proposed family dwelling has been sensitively designed to respond to the character and appearance of the local area, while providing a dwelling which is able to meet the needs of modern family life. Its design is based upon a detailed appraisal of existing buildings on and adjacent to the site, and aims to blend the development into its setting, being sympathetic to the existing vernacular in terms of form and materials.

A brief summary of the desired accommodation for the family home is as follows:

- Entrance Hall
- Open Plan Kitchen / Dining
- Formal Reception Room
- Informal Snug
- Informal Games Room and Family Social Space
- Utility & Boot Room
- Discreet Gun Room
- Home Office
- Kids Bunk Room
- Gym
- Master Bedroom with Ensuite & Dressing
- 4no. Double Bedrooms with Ensuite
- Cinema TV Room
- Exercise Pool with Sauna
- 3no. Car Garage

SECTION 2
APPRAISAL & PRINCIPLES



Satellite Photo of the South Scottish Borders Showing the Site Location - Source: Google Maps - Not to Scale

2.0 APPRAISAL & PRINCIPLES

2.1 Physical Context

This section of the statement provides a detailed assessment of the site's context. The contextual analysis provides an appraisal of the site's physical, social, historic and economic context as advised by Planning Advice Note 68: Design Statements.

2.1.01 Location

The proposed site for development is located in Town-o'-rule - a farmstead off the B6357 road in the Scottish borders. The farmstead is located approximately 1 mile north of Bonchester Bridge, approximately 5 miles east of Hawick, 6 miles south west of Jedburgh and 3 miles north west of Chesters. The structures in the farmstead are a mixture of agricultural buildings and residential cottages.

1.2.02 Access and Public Transport

It takes approximately 1 hour and 30 minutes to travel to Edinburgh, 1 hour 15 minutes to travel to Carlisle and 1 hour and 20 minutes to travel to Newcastle upon Tyne by road connection. The nearest railway station is at the terminus of the Borders Railway line located in Tweedbank, 14 miles north that connects to Edinburgh. The nearest station with connections to the East Coast Main Line is in Berwick upon Tweed, 35 miles north east, and the nearest station with connections to the West Coast Main Line is Lockerbie, 35 miles south west. There are regular bus connections to railway stations from Hawick. The Scottish Borders Council operate a bus service between Chesters, Bonchester Bridge and Hawick once a day, four days a week in both directions and the nearest stop is located 1 mile away from the site in Bonchester Bridge.



Satellite Photo of the Site Area with Boundaries - Source: Bing Maps - Not to Scale

2.0 APPRAISAL & PRINCIPLES

2.1 Physical Context

2.1.03 Wider Landscape Description

The site is located in the southern part of a local designation area (Special Landscape Area 5) 'Teviot Valley', which runs between Hawick and Jedburgh and consists of three valleys characterised by visually prominent hills, with a number of landmark features with associated pastoral and woodland settings.

The valley associated with Town-o'-rule is Rule Water and has its own distinctive character:

"It is densely wooded with beech trees along the road. It is an intimate, picturesque valley with traditional stone buildings and bridges, and intriguing gateways into estates. There is evidence of management which suggests a well-established and well-loved landscape."

The hills that have a strong relationship with Rule Water include Rubers Law to the north and Bonchester Hill to the south. Both hills have a distinct craggy summit with Rubers Law the more prominent of the two.

A detailed description of the landscape is included in the Landscape Statement produced by the Landscape Agency that accompanies this application.

2.1.04 Ownership Boundary

The area of land in ownership (the blue line boundary) is approximately 241.96ha. The land rises to the north west to the hilltop of Rubens Law, increasing in elevation by approximately 230 meters over a distance 2.1km from Town-o'-rule. The boundary is irregular in shape and is bounded to the east by Rule Water, by agricultural land to the north and west, by open mixed bracken and grassland to the south. Hallrule burn cuts west-east through the centre of the estate. The majority of the land in ownership comprises of open and managed grassland and pockets of densely planted wood.



Satellite Photo of the Site Area with Boundaries - Source: Bing Maps - Not to Scale

2.0 APPRAISAL & PRINCIPLES

2.1 Physical Context

2.1.05 Immediate Landscape Description

The immediate landscape of Town-o'-rule is defined to the north by the dense trees that line along both Hallrule Burn and the lane access to Hallrule Farm from the B6357 road. To the south tree plantations and hedgerows loosely define the gentle incline of the surrounding immediate context. Views within the immediate landscape to the agricultural and domestic structures are largely uninhibited due to tree cover being limited to various points along field boundaries and along a small burn running north east out from the centre of the hamlet. The ground levels across the site undulate and subsequently the buildings further to the west appear more prominent in views.



1. View of Town-o'-rule from the South West A6088 Road Approach



2. View of the Larger Agricultural Buildings on the Eastern Edge of Town-o'-rule



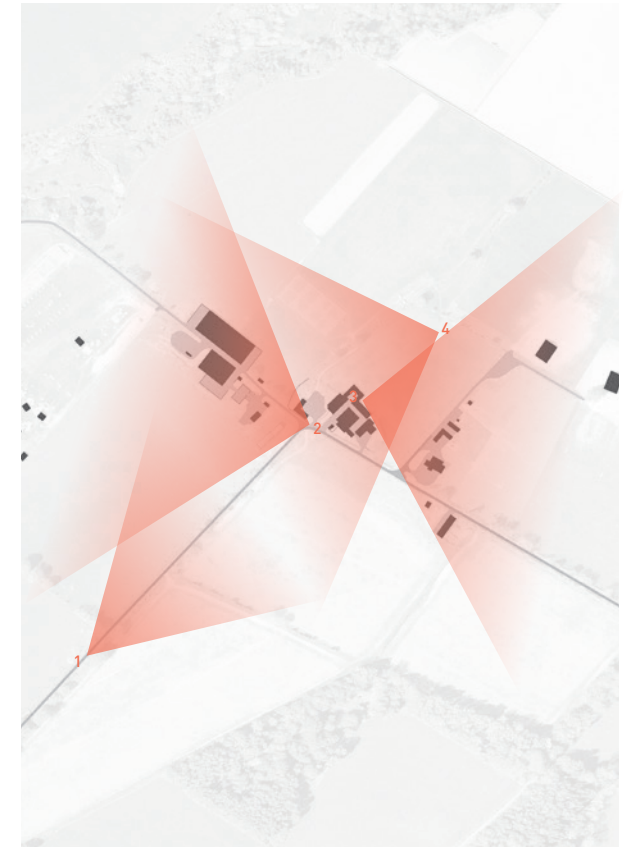
3. View of the Buildings on the Western Edge of Town-o'-rule

2.0 APPRAISAL & PRINCIPLES

2.1 Physical Context

2.1.06 Buildings and Structures

The original historic farm buildings located at the centre of the farmstead are stone wall / slate roof construction that uphold the traditional farmstead aesthetic of the local area. In terms of materiality the later constructed agricultural storage buildings to the east and west are less sensitive to the traditional aesthetic, with corrugated metal and timber cladding the predominant materials. The later permanent structures are notably larger in scale than the original farmstead structures.



Viewpoint Positions



4. View of the Central and Western Buildings in Town-o'-rule as seen from the North East



Diagram Plan of Town-o'-rule - Source: Bing Maps - Not to Scale

2.0 APPRAISAL & PRINCIPLES

2.1 Physical Context

2.1.07 Use

The buildings and structures in Town-o'-rule are a mixture of agricultural sheds and barns used for storage together with residential structures and their associated domestic curtilage. The residential properties predominantly address the eastern lane approach from the B6357 road, these consist of the original farm house, the cottages (3 units) and more recently constructed house with stables opposite the cottages. There is evidence of 3 timber framed agricultural sheds that were recently dismantled due to partial and full collapse during severe weather.

2.1.08 Historic Record

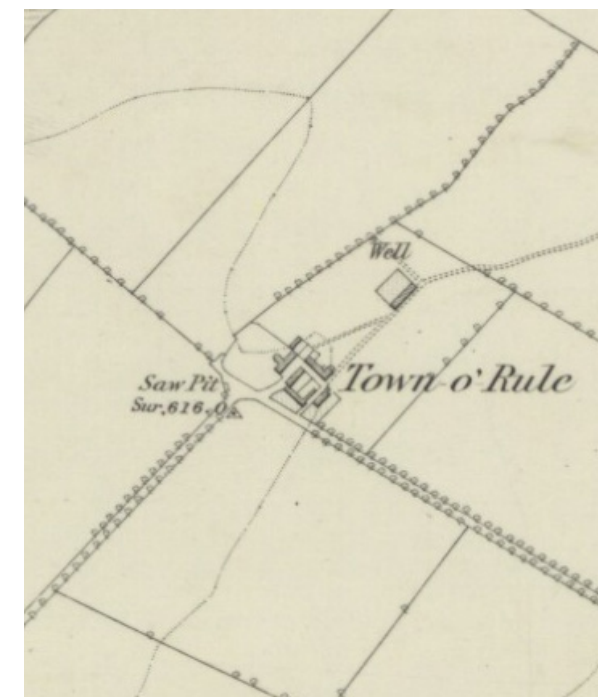
A record of the presence of structures in Town-o'-rule can be dated as far back as 1770 on 'A map of Roxburghshire or Tiviotdale' by Matthew Stobie. A detailed record of the farmstead is found in the Ordnance Survey first edition (1882) showing a building layout identical to the present centrally located buildings in Town-o'-rule. The cottages appear between the first and second editions of the Ordnance Survey maps dating them between 1882 and 1899.



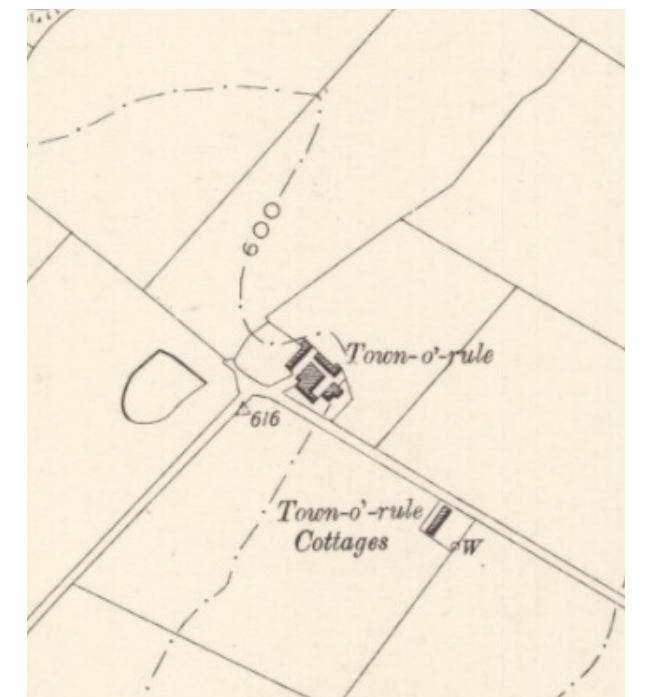
1770: Matthew Stobie Map of Roxburghshire



1832: John Thompson's Atlas of Scotland



Scottish Ordnance Survey Six-Inch First Edition, 1843-1882



Scottish Ordnance Survey Six-Inch Second Edition 1899



Diagram Plan of Town-o'-rule - Source: Bing Maps - Not to Scale

Key

- Existing Structures
- Potential New Residential Curtilage
- Existing Residential Curtilages

2.0 APPRAISAL & PRINCIPLES

2.2 Analysis

2.2.01 Site and Opportunities

The preferred site for the new dwelling lies within the historic curtilage of the original farmstead. The choice of site is informed by the following reasons:

- To reinforce and consolidate the nucleated pattern of domestic curtilages addressing the eastern lane approach.
- The opportunity to restore and enhance the historic structures in disrepair.
- To capitalise on the desirable panoramic views over the surrounding valleys and hills to the north and south.



1. View Towards Rubers Law Hill with Dunion Hill in the Distance



2. View Towards Bonchester Hill with Wolfelee Hill Behind



1. View of the Western Edge of the Site Defined by the Existing Stone Wall



2. View of the Existing Stone Wall Agricultural Building on The Eastern Edge of the Site



3. View of the Timber Frame Sheds and Burn on the Western Edge of the Site



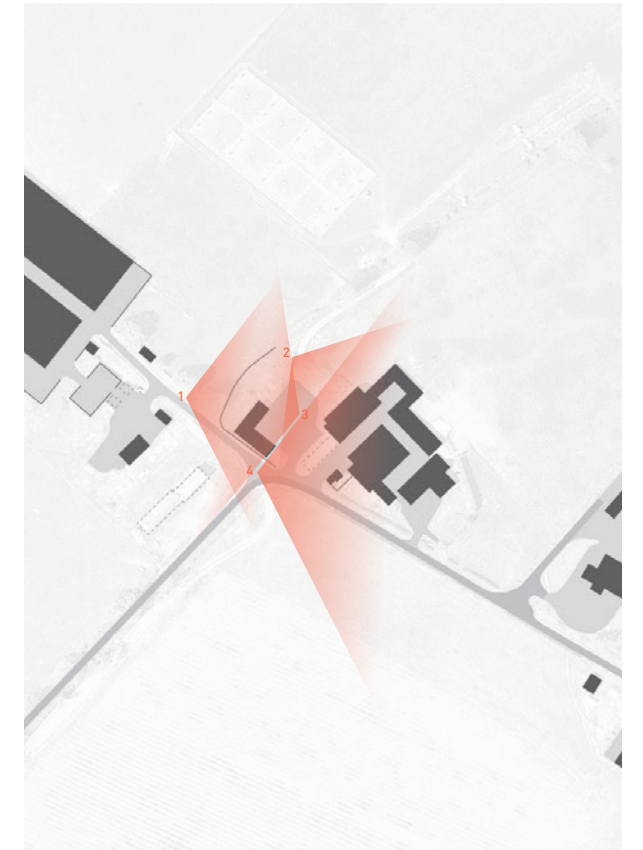
4. View of the Eastern Edge of the Site and Existing Access from the B6357 Road

2.0 APPRAISAL & PRINCIPLES

2.2 Analysis

2.2.02 Site Visual Record

The proposed site for the dwelling is characterised by a gently sloping plateau of mixed hardsurfacing that rapidly falls past the edge of the northeastern line of buildings. The eastern edge of the plateau is defined by a gently curving dry stone wall that follows the course of the existing dry burn running north east and aligns the edge of the private access gravel track that ajoin the bend in the public access lane. A steel-clad L-shaped temporary storage structure of low architectural value rests in the eastern corner behind the stone wall. To the west is the historic slate roof stone barn that defines the historic edge of the original farm buildings. The barn has a stone wall / corrugated metal roof lean-to structure along the western elevation that is of low architectural value. The access to the plateau is from the bend on the adjacent public access tarmac lane.



Viewpoint Positions

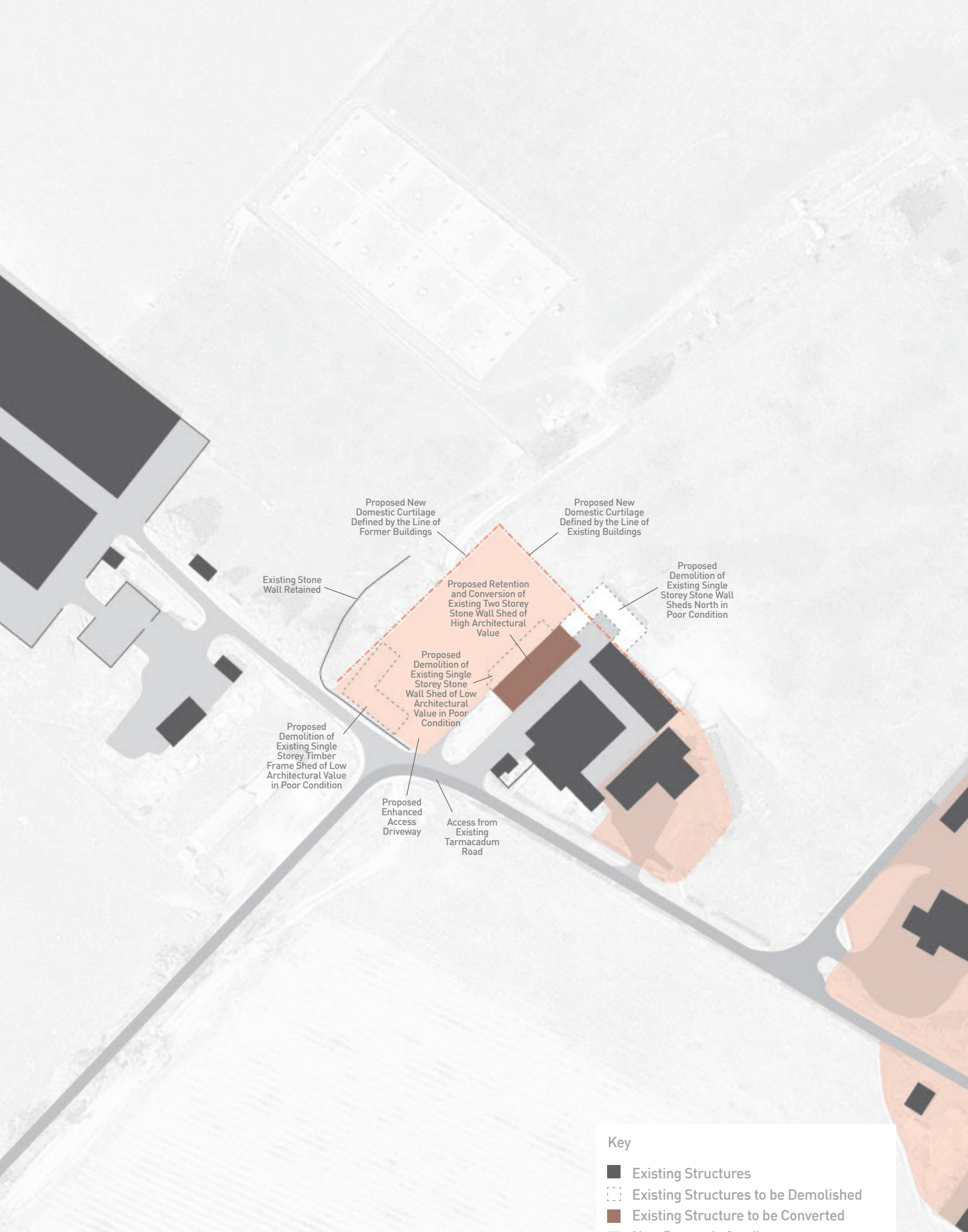


Diagram Plan of Town-o'-rule - Source: Bing Maps - Not to Scale

2.0 APPRAISAL & PRINCIPLES

2.2 Analysis

2.2.03 Existing Structures Appraisal and Opportunities

The site contains various existing structures of varying scale and quality.

1. Single Storey Timber Store/Shed to the South

At the south of the site near to the proposed access driveway there is a low quality timber and corrugate metal open storage structure. This poor quality building has little architectural value and is proposed to be demolished as part of the new development.



2. Two Storey Stone Building to the West

Located along the eastern boundary of the proposed site there sits an existing two storey stone building with a pitched tile roof. The building has been used for agricultural storage with a variety of poor quality alterations made to accommodate equipment. This building provides an opportunity to mediate between the new structures and the existing buildings to the west.



The western elevation of the contains a single storey timber and corrugate extension to provide additional storage. This addition is in a state of disrepair and provides little or no architectural value. As part of the regeneration of the existing stone building this would be removed, existing stonework retained and repaired; and a new extension added to connect the stone building with the new build construction.

3. Single Storey Stone Store to the North

Adjoining the north gable of the existing two storey stone building a single storey open store has been added. This does not appear on historic maps and can be assumed to have been added relatively recently to the two storey building. As part of the proposed new dwelling this store is to be carefully demolished and the stone retained for proposed and repair work across the site.

SECTION 3
THE DESIGN PROPOSAL

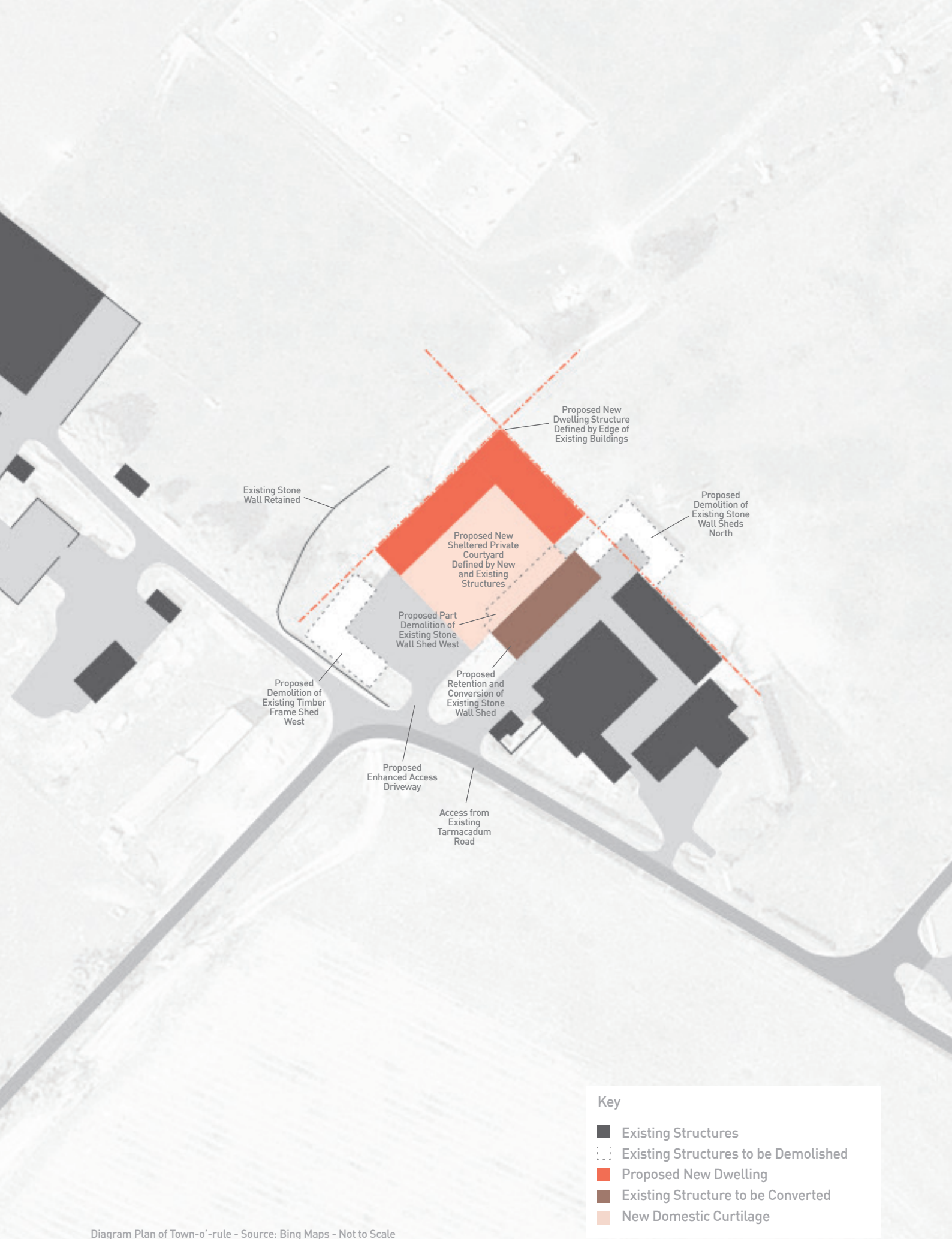


Diagram Plan of Town-o'-rule - Source: Bing Maps - Not to Scale

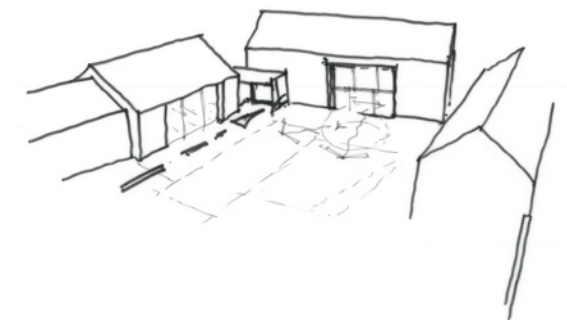
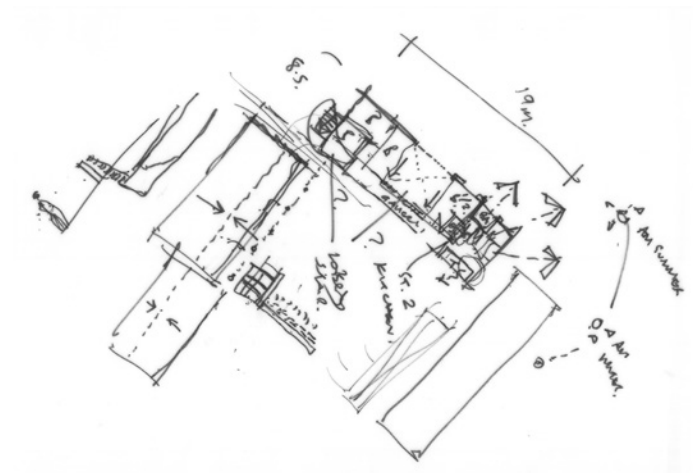
3.0 DESIGN PROPOSAL

This section highlights the key architectural design proposals.

3.1 Design Concepts

3.1.01 Principal Design Concepts

The principal concept behind the design of the new dwelling is considered in terms of the layout and scale; and is intended to be a sensitive intervention that sympathises and gives reference to the local vernacular of rural building typologies: The rural landscape is characterised with clusters of linear forms typically one and two storey that have dual pitched roof structures that form gable ends.



Sketch Concept Drawings of the Proposals



1. View of the South Gable of the existing building.



2. View of the North Gable of the existing building.



3. View of the west elevation of the existing building.



4. View of the Northern Edge of the adjacent buildings.



5. Precedent image of proposed modern vernacular architectural language.

3.0 DESIGN PROPOSAL

3.1.02 Architectural Style

The architectural approach to the design terms of the materiality and architectural detailing is expressed in a modernist, contemporary architectural style, that will be a honest reflection of a building constructed in 21st century using modern materials, construction methods and utilising the latest technology.

3.1.03 Visual Impact

The proposals have been developed from an analysis and understanding of the site where the new home acknowledges that it will have a visual presence within it's immediate setting and therefore seeks to be sensitive and sympathetic to the surrounding context. Due to the visibility views of the building are carefully considered so that they are celebrated.

3.0 DESIGN PROPOSAL

3.2 Design Proposals

3.2.01 Scale & Massing

The proposed house massing consists of a U-shape that through the use of glazing and recesses is articulated into three volumes of similar size in plan. These three volumes reflect the scale and massing of the existing built forms of Hall'O'Rule and their arrangement takes inspiration from the historic grouping of agricultural buildings and farmsteads. The eastern and northern elements of the massing are created by proposed new build volumes with the eastern mass consisting of the existing stone building on the site. To the northern end of the existing two storey stone building there is an adjoining open agricultural shelter. It is proposed that this unused storage building will be demolished and the material retained for repairs and refurbishment works for the proposed house.

Each of the three volumes has an elongated rectilinear form with the width and length proportions of the two proposed elements reflecting that of the existing stone building. The height, massing and forms of the proposed volumes take inspiration from the surrounding rural and agricultural buildings in the landscape. The roofs of the proposed structures are pitched along the length of the rectilinear forms to match the existing stone building, characteristic of the rural massing that has been driven by the practicalities of the vernacular construction techniques.

The rectilinear forms and pitched roofs utilised within the proposed massing are consistent between all the volumes but differ in scale to reflect the hierarchy of accommodation contained within. The more important accommodation is within the north volume and therefore has a larger, longer and wider, footprint; and is taller at two storeys to signify it as the main living accommodation of the house. The proposed massing of the western volume is single storey with the ridge and eaves sitting lower than both the existing stone building and northern volume to reflect its reduced importance. This also ensures that the massing steps down and reduces down in scale as it moves further away from the collective built forms of the east out towards the surrounding rural land to the west.

The proposed massing for the house also reflects the topography of the site as it falls from south to north as the most northern volume takes opportunity of this change in level to steps down creating a semi buried level of accommodation. This lower ground floor provides a retaining structure to the historically made-ground and resulting slope; and is not visible from the south or east.



1. Photo showing use of timber cladding on existing agricultural building on the north west of the site.



2. Photo showing rectilinear stone building and pitched roofscape.



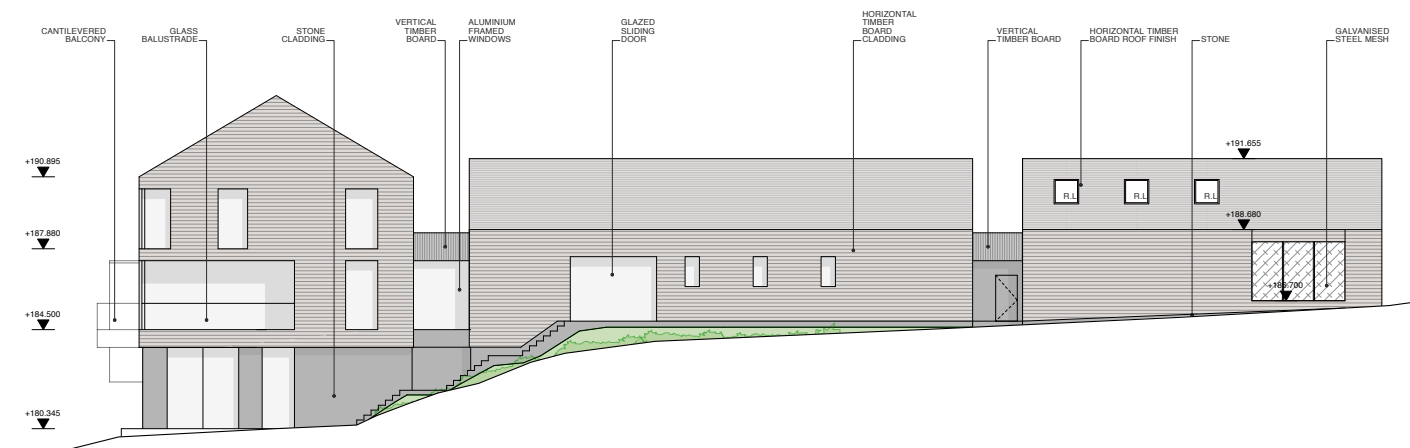
3. Precedent image showing use of contemporary detailing and fenestration proportions within traditional rural architectural massing.



4. Precedent image showing how contemporary detailing and structure will be continued internally.



1. Proposed Ground Floor Plan



2. Proposed Western Elevation

3.0 DESIGN PROPOSAL

3.2.02 Layout & Arrangement

The arrangement of proposed house accommodation within the U-shape massing creates a central, south facing courtyard and defines its domestic curtilage. This south facing courtyard creates an external area for the occupants that is sheltered from the prevailing winds, whilst visually screening the domestic parking and ancillaries from the longer rural views in from the north of the site. The open courtyard space sits between the main living accommodation and the access road creating a separating buffer between the rural landscape and the house. The courtyard also allows vehicular access to safely manoeuvre within the dwelling curtilage before rejoining the highway.

The ground floor of the central larger massing volume to the north contains the main family living accommodation consisting of the main entrance hallway; open plan kitchen dining; formal sitting; entrance hall; utility; and gun room. At first floor there is the master bedroom with accompanying dressing room and bathroom; and 4no. double bedrooms with en-suites. The lower, semi-subterranean accommodation contains a home exercise pool and sauna benefitting from increased privacy and surrounding thermal mass to retain heat from the pool.

The converted existing stone building connected to the east of the main entrance contains a home office; and children's bunk house accommodation at first floor; whilst ground floor contains a tv room and home gym space. The home office can be accessed separately from the family accommodation for the client to meet privately with his agricultural tenants.

To the west of the main accommodation the single storey volume contains a 3no. car garage; dog kennel; and a multi-purpose family / play room accommodation with generous sliding doors connecting it to the central courtyard.

3.2.03 Access

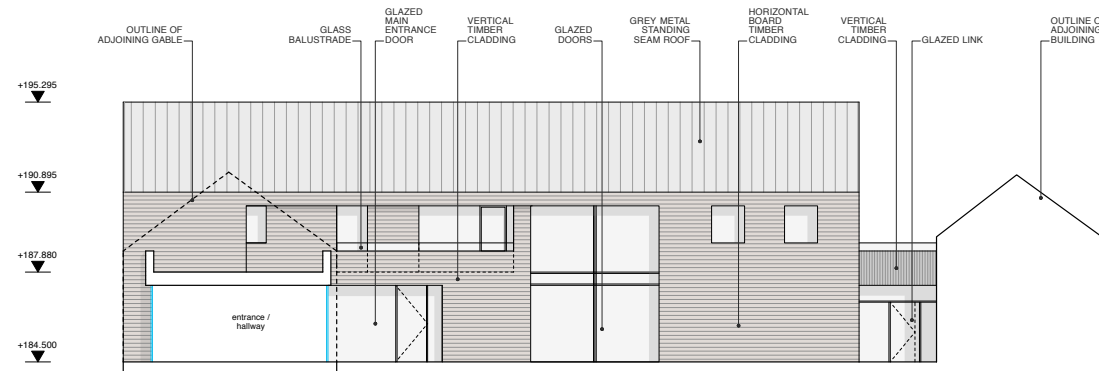
The existing vehicular entrance from the southern boundary is to be retained for access to the house. It is proposed that this access point will be improved by relocating the agricultural access track which currently shares the same vehicle access from the highway further to the west of the proposed house. This will provide separation between domestic and agricultural traffic, with the larger agricultural vehicles benefiting from the new access point and improved visibility.



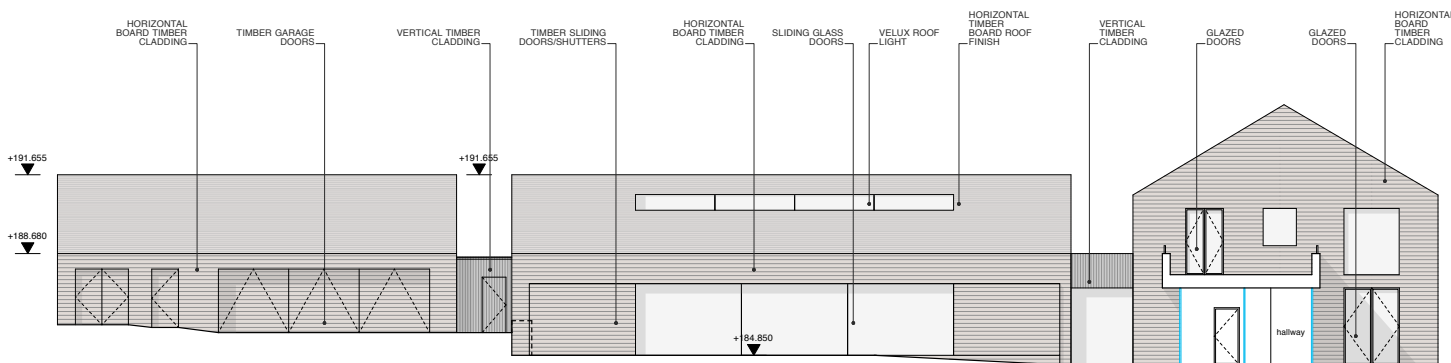
1. Proposed Horizontal Timber Cladding and Sliding Shutters



2. Precedent Image showing proposed combination of natural untreated timber cladding and standing seam roofing.



3. Proposed South Elevation



4. Proposed East Elevation

3.0 DESIGN PROPOSAL

3.2.04 Appearance

The materials for the proposed house take inspiration from the surrounding utilitarian agricultural structures within the area but combine this with contemporary detailing and fenestration so that the building reflects modern 21st Century architecture of which it is being built. The proposed materials of stone and timber can be seen on various structures within the immediate locale of the area as well as the wider rural setting of the Scottish Borders. The materials utilised within the area are robust to withstand the harsh environment and mainly include stone walling; tile and slate roofing; sheet metal; and timber.

The use of traditional agricultural materials of timber, stone and metal roofing will be visually sympathetic to the existing stone building but through contemporary detailing will ensure that the new architecture is clearly articulated from the old. The proposed materials will have natural untreated finishes that will weather into the setting and soften alongside the existing buildings.

The western, existing stone building is proposed to be refurbished with the existing stonework and tiled roof retained. Poor quality additions generally made using corrugated metal will be stripped back to enable the new additions for the gym and glazed link to be added. The new extension and connection link to the existing stone is to be finished in untreated open jointed cedar timber cladding. This use of timber cladding with open jointing and contemporary detailing is to be continued across all the proposed new elevations. The link connections between the three volumes are articulated by recesses in facades and are further accentuated through the use of vertical timber cladding to juxtapose the horizontal boards on the primary elevations

The hierarchical distinction of the accommodation by enlarging the more important volumes is seen in historic farms and the materiality also generally reflects the significance of the spaces within. To continue the visual distinction of the volumes by size, it is proposed that the proposed materials subtly reflect this change in hierarchy by changing the appearance of the roof finishes, whilst leaving the elevations treatments consistent; timber for new and coursed stone for existing. The introduction of a zinc standing seam roof finish to the main central volume reaffirms it as the entrance and main accommodation presence, whilst the proposed garage and informal accommodation volume to the west has a timber finish to signify its reduced status.

The fenestration proportions of the new build accommodation are enlarged from the traditional buildings with floor to ceiling height windows to allow maximum daylight and reflect the 21st Century construction available. Insulated sliding shutters are proposed to the areas of large sliding glass doors of the gym and informal accommodation to allow these areas to be closed off and heat loss reduced when not in use.

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